

VICINITY MAP




AMERICAN TOWER®

SITE NAME: REBUILD CASA DE ORO CA
SITE NUMBER: 204844
SITE ADDRESS: 3902 KENWOOD DRIVE
SPRING VALLEY, CA 91977



LOCATION MAP

DROP AND SWAP
CONSTRUCTION DRAWINGS

COMPLIANCE CODE	PROJECT SUMMARY	PROJECT DESCRIPTION	SHEET INDEX					
<p>ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNMENT AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.</p> <p>1. INTERNATIONAL BUILDING CODE (IBC) 2. NATIONAL ELECTRIC CODE (NEC) 3. LOCAL BUILDING CODE 4. CITY/COUNTY ORDINANCES 5. FEDERAL COMMUNICATIONS COMMISSION (FCC) 6. FEDERAL AVIATION ADMINISTRATION (FAA)</p>	<p><u>SITE ADDRESS:</u></p> <p>3902 KENWOOD DRIVE SPRING VALLEY, CA 91977 COUNTY: SAN DIEGO</p> <p><u>GEOGRAPHIC COORDINATES:</u></p> <p>LATITUDE: N32° 44' 59.94" LONGITUDE: W117° 00' 28.70" GROUND ELEVATION: 577.33' AMSL</p> <p><u>ZONING INFORMATION:</u></p> <p>JURISDICTION: SAN DIEGO COUNTY PARCEL NUMBER: 499-250-42</p>	<p>THIS PROJECT ENTAILS REMOVING AN EXISTING 63' MONOPALM AND REPLACING WITH A NEW 63' MONOPINE WITH 9 ANTENNAS, 6 RRU's AND 2 RAYCAPS INSTALLED. EXISTING EQUIPMENT SHELTER AND GENERATOR ROOM TO REMAIN.</p>	SHEET NO:	DESCRIPTION:	REV:	DATE:	BY:	
			G-001	TITLE SHEET	3	10/17/18	NRP	
			G-002	GENERAL NOTES	0	04/26/18	NRP	
		<p>PROJECT NOTES</p> <p>1. THE FACILITY IS UNMANNED.</p> <p>2. A TECHNICIAN WILL VISIT THE SITE APPROXIMATELY ONCE A MONTH FOR ROUTINE INSPECTION AND MAINTENANCE.</p> <p>3. FACILITY WILL MEET OR EXCEEDS ALL FAA AND FCC REGULATORY REQUIREMENTS.</p> <p>4. NO SANITARY SEWER, POTABLE WATER OR TRASH DISPOSAL IS REQUIRED.</p> <p>5. HANDICAP ACCESS IS NOT REQUIRED.</p> <p>6. THE FACILITY WILL NOT GENERATE NOISE IN EXCESS OF 50db AT THE PROPERTY LINES.</p>		V-101	SURVEY			
				C-101	OVERALL SITE PLAN	0	04/26/18	NRP
				C-401	COMPOUND PLAN	2	07/05/18	NRP
				C-402	TOWER ELEVATION	3	10/17/18	NRP
				C-501	DETAILS	1	06/18/18	NRP
				C-502	SIGNAGE	0	04/26/18	NRP
				E-401	GROUNDING LAYOUT	1	06/18/18	NRP
E-501	ELECTRICAL DETAILS			0	04/26/18	NRP		
<p>PROJECT LOCATION DIRECTIONS</p> <p>FROM SAN DIEGO, CA:</p> <p>TAKE HWY 94 IN SPRING VALLEY EXIT ONTO CAMPO ROAD EAST, TRAVEL TO KENWOOD DRIVE, TURN RIGHT/ SOUTH, TRAVEL TO 3902 KENWOOD DRIVE, TURN RIGHT INTO PROPERTY AND IMMEDIATELY TURN RIGHT ONTO DIRT ROAD ALONG THE EDGE OF THE PROPERTY, FOLLOW TO SITE.</p>								
SURVEY INFORMATION	<p>PROJECT TEAM</p> <p><u>TOWER OWNER:</u> SPECTRASITE COMMUNICATIONS, LLC 10 PRESIDENTIAL WAY WOBURN, MA 01801</p> <p><u>PROPERTY OWNER:</u> TRINITY PRESBYTERIAN CHURCH OF SPRING VALLEY 3902 KENWOOD DR SPRING VALLEY, CA 91977</p> <p><u>ENGINEER:</u> ATC TOWER SERVICES 3500 REGENCY PARKWAY SUITE 100 CARY, NC 27518</p>	1. BOUNDARY INFORMATION WAS OBTAINED FROM SURVEY BY COX LEVIN ON 08/28/12.						
UTILITY COMPANIES								
POWER COMPANY: SDE&G PHONE: (800) 411-7343								
TELEPHONE COMPANY: SBC PHONE: (800) 310-2355								
 <p>Know what's below. Call before you dig.</p>								



AMERICAN TOWER®
ATC TOWER SERVICES, LLC
3500 REGENCY PARKWAY
SUITE 100
CARY, NC 27518
PHONE: (919) 468-0112

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

REV.	DESCRIPTION	BY	DATE
0	FOR CONSTRUCTION	NRP	04/26/18
1	PER COMMENTS	NRP	06/18/18
2	ADDITIONAL COMMENTS	NRP	07/05/18
3	REVISED TOWER ELEVATION	NRP	10/17/18

ATC SITE NUMBER:
204844

ATC SITE NAME:
REBUILD CASA DE ORO CA 1

SITE ADDRESS:
3902 KENWOOD DRIVE
SPRING VALLEY, CA 91977

SEAL:

DRAWN BY:	RD
APPROVED BY:	WG
DATE DRAWN:	04/26/18
ATC JOB NO:	12487707
ATC LEGACY #:	302247

TITLE SHEET

SHEET NUMBER: G-001	REVISION: 3
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1. ALL WORK SHALL CONFORM TO ALL CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL CODES, INCLUDING ANSI/EIA/TIA-222, AND COMPLY WITH ATC MASTER SPECIFICATIONS FOR WIRELESS TOWER SITES.
2. CONTRACTOR SHALL CONTACT LOCAL 811 FOR IDENTIFICATION OF UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS.
4. ALL DIMENSIONS TO, OF, AND ON EXISTING BUILDINGS, DRAINAGE STRUCTURES, AND SITE IMPROVEMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR WITH ALL DISCREPANCIES REPORTED TO THE ENGINEER.
5. DO NOT CHANGE SIZE OR SPACING OF STRUCTURAL ELEMENTS.
6. DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
7. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
8. CONTRACTOR SHALL BRACE STRUCTURES UNTIL ALL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: LATERAL BRACING, ANCHOR BOLTS, ETC.
9. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES, GROUNDS DRAINS, DRAIN PIPES, VENTS, ETC. BEFORE COMMENCING WORK.
10. INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE ATC CM PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH REMEDIAL ACTION SHALL REQUIRE WRITTEN APPROVAL BY THE ATC CM PRIOR TO PROCEEDING.
11. EACH CONTRACTOR SHALL COOPERATE WITH THE ATC CM, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
12. CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION OF THIS PROJECT TO MATCH EXISTING PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE ATC CONSTRUCTION MANAGER.
13. ALL CABLE/CONDUIT ENTRY/EXIT PORTS SHALL BE WEATHERPROOFED DURING INSTALLATION USING A SILICONE SEALANT.
14. WHERE EXISTING CONDITIONS DO NOT MATCH THOSE SHOWN IN THIS PLAN SET, CONTRACTOR WILL NOTIFY THE ATC CONSTRUCTION MANAGER IMMEDIATELY.
15. CONTRACTOR SHALL ENSURE ALL SUBCONTRACTORS ARE PROVIDED WITH A COMPLETE AND CURRENT SET OF DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT.
16. ALL ROOF WORK SHALL BE DONE BY A QUALIFIED AND EXPERIENCED ROOFING CONTRACTOR IN COORDINATION WITH ANY CONTRACTOR WARRANTING THE ROOF TO ENSURE THAT THE WARRANTY IS MAINTAINED.
17. CONTRACTOR SHALL REMOVE ALL RUBBISH AND DEBRIS FROM THE SITE AT THE END OF EACH DAY.
18. CONTRACTOR SHALL COORDINATE WORK SCHEDULE WITH LANDLORD AND TAKE PRECAUTIONS TO MINIMIZE IMPACT AND DISRUPTION OF OTHER OCCUPANTS OF THE FACILITY.
19. CONTRACTOR SHALL FURNISH ATC WITH THREE AS-BUILT SETS OF DRAWINGS UPON COMPLETION OF WORK.
20. PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH ATC CM TO DETERMINE WHAT, IF ANY, ITEMS WILL BE PROVIDED. ALL ITEMS NOT PROVIDED SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR WILL INSTALL ALL ITEMS PROVIDED.
21. PRIOR TO SUBMISSION OF BID, CONTRACTOR WILL COORDINATE WITH ATC CONSTRUCTION MANAGER TO DETERMINE IF ANY PERMITS WILL BE OBTAINED BY ATC. ALL REQUIRED PERMITS NOT OBTAINED BY ATC MUST BE OBTAINED, AND PAID FOR, BY THE CONTRACTOR.
22. CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO ATC FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
23. ALL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND LOCATED ACCORDING TO ATC SPECIFICATIONS, AND AS SHOWN IN THESE PLANS.
24. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
25. CONTRACTOR SHALL NOTIFY ATC CM A MINIMUM OF 48 HOURS IN ADVANCE OF POURING CONCRETE OR BACKFILLING ANY UNDERGROUND UTILITIES, FOUNDATIONS OR SEALING ANY WALL, FLOOR OR ROOF PENETRATIONS FOR ENGINEERING REVIEW AND APPROVAL.

THIS PLAN HAS BEEN DEVELOPED TO PROVIDE A STRATEGY FOR CONTROLLING SOIL EROSION AND SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROPOSED FACILITY. THE EQUIPMENT ANTICIPATED TO BE USED FOR THE CONSTRUCTION INCLUDES THE FOLLOWING: BACKHOES, BULLDOZERS, LOADERS, TRUCKS, CRANES, COMPACTORS, AND GRADERS. THE FOLLOWING MEASURES WILL BE UNDERTAKEN TO PROVIDE MAXIMUM PROTECTION TO THE SOIL, WATER, AND ABUTTING LANDS:

1. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM AMERICAN TOWER PRIOR TO IMPLEMENTATION.
2. THE LIMITS OF DISTURBANCE (LOD) SHOULD BE MARKED PRIOR TO DISTURBANCE ACTIVITIES (I.E. SURVEY STAKES, POSTS & ROPE, CONSTRUCTION FENCE, ETC.).
3. A COPY OF THE SEDIMENT AND EROSION CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE DURING CONSTRUCTION UNTIL THE SITE IS STABILIZED. (AS APPLICABLE)
4. PRIOR TO GRUBBING OR ANY EARTHMOVING OPERATION, SILTATION FENCE WILL BE INSTALLED ACROSS THE SLOPE ON THE CONTOUR AT THE DOWNHILL LIMIT OF THE WORK AS PROTECTION AGAINST CONSTRUCTION RELATED EROSION. (CONSULT ATC CM AS REQUIRED)
5. STONE CHECK DAMS WILL BE INSTALLED IN THE DRAINAGE DITCHES TO PREVENT EROSION PRIOR TO THE STABILIZATION OF THE CHANNELS. EROSION CONTROL BLANKETS WILL ALSO BE INSTALLED IN ALL DITCHES TO BE REVEGETATED.
6. PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY UNDISTURBED LAND AREA WILL BE COMPLETED WITHIN FIFTEEN CALENDAR DAYS AFTER FINAL GRADING HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE OR PRACTICAL TO PERMANENTLY STABILIZE DISTURBED LAND, TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED WITHIN THIRTY CALENDAR DAYS OF EXPOSURE OF SOIL. ALL DISTURBED AREAS WILL BE MULCHED FOR EROSION CONTROL UPON COMPLETION OF ROUGH GRADING. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED.
7. ANY EXPOSED SLOPES GREATER THAN 2:1 AND NEWLY CONSTRUCTED DRAINAGE DITCHES WILL

1. DECONSTRUCT EXISTING TOWER.
2. CONSTRUCT PROPOSED TOWER PER TOWER MANUFACTURER'S SPECIFICATIONS.
3. INSTALL ANY REQUIRED ICE BRIDGES OR WIREWAYS PER ATC SPECIFICATIONS.
4. IF CONSTRUCTION IS TERMINATED OR SUSPENDED PRIOR TO CONSTRUCTION COMPLETION, ALL EXPOSED SOIL AREAS SHALL BE SEEDED WITH TEMPORARY SEEDING AND MULCHED IMMEDIATELY.

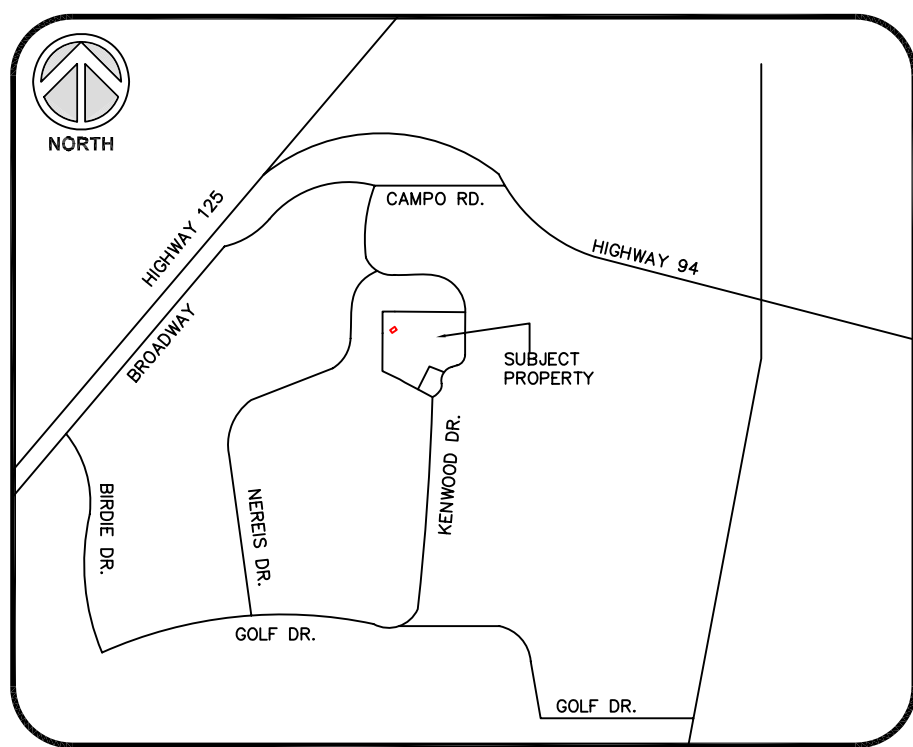
1. THOROUGHLY COMPACT BOTTOM OF EXCAVATIONS PRIOR TO PLACING RIGID INSULATION BARRIER. BACKFILL AND COMPACTION PROCEDURES SHALL BE DONE PER INDUSTRY STANDARDS.
2. ALL REINFORCING STEEL SHALL BE ASTM A615 - GRADE 60. SECURE REINFORCING IN PLACE TO PREVENT MOVEMENT DURING CONCRETE PLACEMENT.
3. VERIFY DETAILS AND DIMENSIONS WITH SHELTER DRAWINGS. NOTIFY ATC CM OF ANY DISCREPANCIES.
4. INSULATION BARRIER PROVIDED IS FOR FROST PROTECTION IN LIEU OF STANDARD FOUNDATIONS WITH BEARING AT CODE REQUIRED FROST DEPTH.
5. SHELTER MUST BE ANCHORED TO ITS FOUNDATION. ANCHOR IN ACCORDANCE WITH SHELTER MANUFACTURER SPECIFICATIONS.

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SEAL:

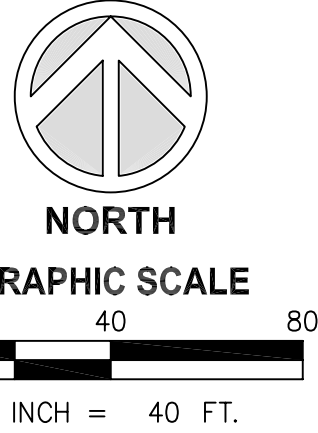
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CASA DE ORO CA / 302247



VICINITY MAP

NOT TO SCALE



SURVEY LEGEND

- = BENCHMARK
- = UTILITY POLE
- ⬮ = WATER VALVE
- ⬮ = ELECTRIC BOX
- P.O.B. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT
- UL — = OVERHEAD UTILITY LINE

LINE TABLE

Line	Bearing	Distance
L1	S.55°14'12"W	40.00'
L2	N.34°43'48"W	40.00'
L3	N.55°14'12"E	40.00'
L4	S.34°45'48"E	25.00'
L5	S.34°45'48"E	15.00'

POLLOCK
499-450-16-00

HUNT
499-450-17-00

EASEMENT AREA LEGAL DESCRIPTION AS SURVEYED:

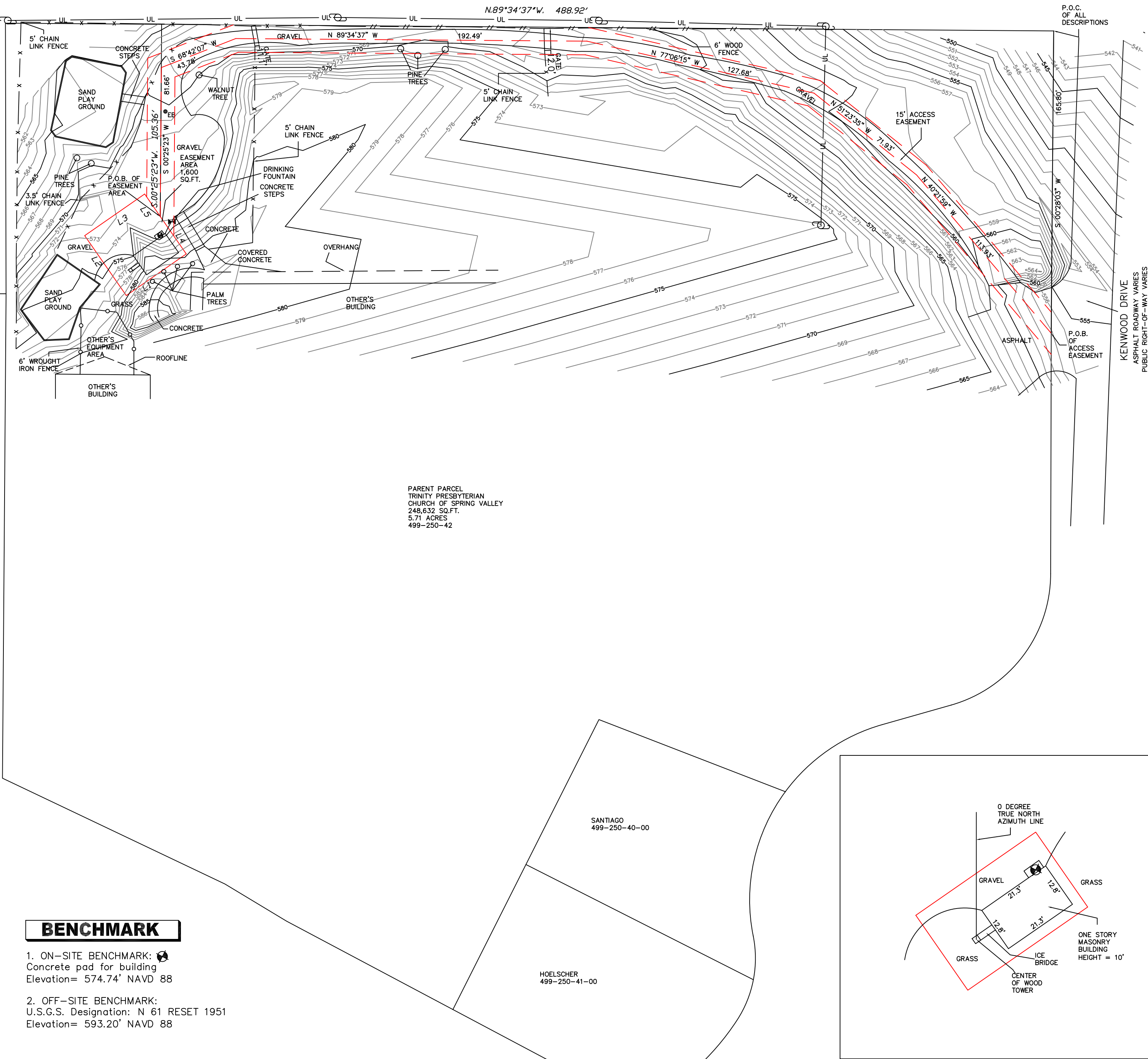
A TRACT OF LAND OUT OF THOSE PORTIONS OF LOTS 82, 84 AND 105 OF LA MESA COUNTRY CLUB TRACT NO. 3, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1756, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 20, 1923, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF KENWOOD DRIVE AND THE NORTHEAST CORNER OF THE ABOVE DESCRIBED PARENT PARCEL; THENCE N 89°34'37" W A DISTANCE OF 488.92' TO A CALCULATED POINT; THENCE S 00°25'23" W A DISTANCE OF 105.96' TO THE POINT OF BEGINNING; THENCE S 34°45'48" E A DISTANCE OF 25.00' TO A CALCULATED POINT; THENCE S 55°14'12" W A DISTANCE OF 40.00' TO A CALCULATED POINT; THENCE N 34°45'48" W A DISTANCE OF 40.00' TO A CALCULATED POINT; THENCE N 55°14'12" E A DISTANCE OF 40.00' TO A CALCULATED POINT; THENCE S 00°25'23" W A DISTANCE OF 105.96' TO THE POINT OF BEGINNING. CONTAINING 1,600 SQ.FT. OF LAND MORE OR LESS.

ACCESS EASEMENT LEGAL DESCRIPTION AS SURVEYED:

A 15' ACCESS EASEMENT OUT OF THOSE PORTIONS OF LOTS 82, 84 AND 105 OF LA MESA COUNTRY CLUB TRACT NO. 3, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1756, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 20, 1923, THE CENTERLINE OF SAID ACCESS EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF KENWOOD DRIVE AND THE NORTHEAST CORNER OF THE ABOVE DESCRIBED PARENT PARCEL; THENCE S 00°25'23" W A DISTANCE OF 165.80' ALONG THE WESTERLY RIGHT-OF-WAY OF KENWOOD DRIVE TO A CALCULATED POINT; THENCE N 40°21'59" W A DISTANCE OF 113.87' TO A CALCULATED POINT; THENCE N 01°23'57" W A DISTANCE OF 71.93' TO A CALCULATED POINT; THENCE N 77°06'15" W A DISTANCE OF 127.68' TO A CALCULATED POINT; THENCE N 89°34'37" W A DISTANCE OF 192.49' TO A CALCULATED POINT; THENCE S 68°42'07" W A DISTANCE OF 43.78' TO A CALCULATED POINT; THENCE S 00°25'23" W A DISTANCE OF 81.66' TO THE POINT OF TERMINATION, CONTAINING 9,472 SQ.FT. OR 0.22 ACRES OF LAND MORE OR LESS.



BENCHMARK

- ON-SITE BENCHMARK: Concrete pad for building
Elevation= 574.74' NAVD 88
- OFF-SITE BENCHMARK: U.S.G.S. Designation: N 61 RESET 1951
Elevation= 593.20' NAVD 88

1A STATEMENT

I certify that the latitude 32' - 44' - 59.95" and the longitude of 117' - 00' - 28.66" are accurate to within +/- [15"] or [50"] horizontally; and that the site elevation of 574.74' AMSL is accurate to within +/- [5"] or [20"] foot vertically. The height of the structure 51.04' AGL. The highest point/aperture 53.02' AGL. The horizontal datum (coordinates are in terms of NAD83 and are expressed as degrees, minutes and seconds, to the nearest hundredth of a second. The vertical datum (heights) are in terms of the NAVD88 and are determined to the nearest foot.

SURVEYOR'S NOTES

- By scaled map location and graphic plotting only, the subject property appears to lie entirely in Zone (_____) (Areas of _____), according to the Flood Insurance Rate Map for the County of (_____), Community Panel No. (_____), Effective Date (_____).
- There was no visible or discernible evidence in changes of street row lines, completed or proposed.
- There was no evidence that the site was being used as a solid waste dump, sump or sanitary landfill.
- The bearings are based on satellite observation.
- The utilities as shown on this drawing were developed from the information available and on site observation, this is not implied nor intended to be the complete inventory of utilities in this area. It is the clients responsibility to verify the location of all utilities (whether shown or not) and protect said utilities from any damage.
- All calls are measured unless otherwise noted.

ENCROACHMENT STATEMENT

- At the time of survey there were no visible encroachments onto or beyond the subject property.

CERTIFICATION

To: Placer Title Company and American Tower Corp.;

This is to certify that this map or plat and the survey on which it is based were made in accordance with 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 6(b) (to the extent, graphically depict on survey drawing the zoning setback lines), 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 13, and 14 Table A thereof. The field work was completed on 08-24-12.

Name: EARL N. STROM
Registration/License Number: 6087



COMPOUND DETAIL

NOT TO SCALE

TITLE COMMITMENT LEGAL DESCRIPTION

THE LAND DESCRIBED HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF SAN DIEGO, UNINCORPORATED AREA, AND IS DESCRIBED AS FOLLOWS:

THOSE PORTIONS OF LOTS 82, 84 AND 105 OF LA MESA COUNTRY CLUB TRACT NO. 3, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1756, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 20, 1923, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTHWESTERLY LINE OF THE ABOVE MENTIONED LOT 84, WITH THE WESTERLY LINE OF KENWOOD DRIVE, AS SAID KENWOOD DRIVE IS SHOWN ON MAP NO. 1818 OF LA MESA COUNTRY CLUB TRACT NO. 3, AND ON MAP NO. 1877 OF LA MESA COUNTRY CLUB TRACT NO. 7, SAID INTERSECTION BEING THE BEGINNING OF A 137.68 FOOT RADIUS CURVE, THE CENTER OF WHICH BEARS NORTH 28°50'00" WEST FROM THE SAID INTERSECTION; THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID KENWOOD DRIVE AS FOLLOWS:

NORTHERLY ALONG SAID CURVE THROUGH AN ANGLE OF 30°30'00", A DISTANCE OF 73.29 FEET TO THE BEGINNING OF A COMPOUND CURVE, HAVING A RADIUS OF 62.11 FEET; THENCE NORTHERLY ALONG SAID CURVE THROUGH AN ANGLE OF 44°30'00", A DISTANCE OF 48.24 FEET TO THE BEGINNING OF A REVERSE CURVE, HAVING A RADIUS OF 100.00 FEET; THENCE NORTHERLY ALONG SAID CURVE THROUGH AN ANGLE OF 85°30'00" A DISTANCE OF 149.22 FEET; THENCE TANGENT TO SAID CURVE, NORTH 73°40'00" EAST, 39.32 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 75.00 FEET; THENCE NORTHERLY ALONG SAID CURVE THROUGH AN ANGLE OF 74°00'00" A DISTANCE OF 96.87 FEET; THENCE TANGENT TO SAID CURVE, NORTH 00°20'00" WEST, 147.65 FEET; THENCE CONTINUING ALONG THE BOUNDARY OF SAID MAP NO. 1977, AS FOLLOWS:

NORTH 00°15'31" EAST (RECORD - NORTH 00° 20'00" WEST), 150.00 FEET TO AN ANGLE POINT THEREIN; AND SOUTH 89°57'08" WEST, 574.54 FEET (RECORD - SOUTH 89°40'00" WEST, 575.00 FEET) TO THE SOUTHWEST CORNER OF LOT 305 OF SAID MAP NO. 1977; THENCE SOUTH 00°35'36" EAST 150.01 FEET TO THE NORTHWESTERLY CORNER OF LAND DESCRIBED IN DEED TO TRINITY PRESBYTERIAN CHURCH OF LA MESA, RECORDED JULY 20, 1960, AS FILE NO. 146519; THENCE ALONG THE BOUNDARY OF SAID LAND, AS FOLLOWS:

SOUTH 00°25'20" EAST 263.98 FEET; SOUTH 65°02'00" EAST, 135.00 FEET, MORE OR LESS, TO THE NORTHWESTERLY CORNER OF LOT 202-A OF LA MESA COUNTRY CLUB TRACT NO. 5, ACCORDING TO MAP THEREOF NO. 1818, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SOUTH 64°54'00" EAST, 40.66 FEET TO THE NORTHEASTERLY CORNER OF SAID LOT 202-A AND ALONG THE SOUTHWESTERLY LINE OF SAID LOT 84, SOUTH 82°50'00" EAST, 218.20 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION OF SAID LOT 84, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST SOUTHERLY CORNER OF SAID LOT 84, THENCE ALONG THE SOUTHWESTERLY LINE OF SAID LOT 84, NORTH 62°29'00" WEST, 115.00 FEET; THENCE NORTH 26°14'50" EAST, 178.00 FEET; THENCE SOUTH 89°15'15" EAST, 109.05 FEET, MORE OR LESS, TO THE SOUTHEASTERLY BOUNDARY OF SAID LOT 84;

A.P.N. 499-250-42

NOTES CORRESPONDING TO SCHEDULE B

THE COMMITMENT FOR TITLE INSURANCE ISSUED BY PLACER TITLE COMPANY DATED AUGUST 9, 2012, AS COMMITMENT NO. 1415-13579, CONTAINS THE FOLLOWING EXCEPTIONS WHICH ARE SURVEY MATTERS:

5. AN EASEMENT OVER SAID LAND FOR TRANSMISSION AND DISTRIBUTION OF UTILITIES AND INCIDENTAL PURPOSES, AS GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY, IN INSTRUMENT RECORDED DECEMBER 23, 1923, IN BOOK 986 OF DEEDS, PAGE 62, NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

6. AN EASEMENT OVER SAID LAND FOR TRANSMISSION AND DISTRIBUTION OF UTILITIES AND INCIDENTAL PURPOSES, AS GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY, IN INSTRUMENT RECORDED DECEMBER 23, 1923, IN BOOK 961 OF DEEDS, PAGE 466, NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

7. AN EASEMENT OVER SAID LAND FOR TRANSMISSION AND DISTRIBUTION OF UTILITIES AND INCIDENTAL PURPOSES, AS GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY, IN INSTRUMENT RECORDED SEPTEMBER 23, 1926, IN BOOK 1257 OF DEEDS, PAGE 146, NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOCUMENT NOT PROVIDED.

8. AN EASEMENT OVER SAID LAND FOR GAS PIPELINES AND INCIDENTAL PURPOSES, AS GRANTED TO SAN DIEGO CONSOLIDATED GAS AND ELECTRIC COMPANY, IN INSTRUMENT RECORDED SEPTEMBER 23, 1926, IN BOOK 1260 OF DEEDS, PAGE 174, NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOCUMENT NOT LEGIBLE.

9. AN EASEMENT OVER SAID LAND FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, AS GRANTED TO SAN DIEGO CONSOLIDATED GAS AND ELECTRIC COMPANY, A CORPORATION, IN INSTRUMENT RECORDED SEPTEMBER 23, 1926, IN BOOK 1267 OF DEEDS, PAGE 146, AFFECTS THE LAND NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOCUMENT NOT LEGIBLE.

10. AN EASEMENT OVER SAID LAND FOR CROSS AND RE-CROSS THE PARCEL OF LAND DESCRIBED FOR PLAYING GOLF BUT NOT INCLUDING THE RIGHT TO DRIVE GOLF BALLS OVER OR ACROSS THE SAID PARCEL, AND INCIDENTAL PURPOSES, AS GRANTED TO LA MESA COUNTRY CLUB, INC., A CORPORATION, IN INSTRUMENT RECORDED JULY 29, 1940, IN BOOK 1046, PAGE 464, OFFICIAL RECORDS, NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

11. AN EASEMENT OVER SAID LAND FOR PIPELINES AND INCIDENTAL PURPOSES, AS GRANTED TO LA MESA, LEMON GROVE AND SPRING VALLEY IRRIGATION DISTRICT, IN INSTRUMENT RECORDED JULY 23, 1943, IN BOOK 1528, PAGE 417, OFFICIAL RECORDS, NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

12. AN EASEMENT OVER SAID LAND FOR TRANSMISSION AND DISTRIBUTION OF UTILITIES AND INCIDENTAL PURPOSES, AS GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY, IN INSTRUMENT RECORDED MAY 10, 1949, IN BOOK 3199, PAGE 360, OFFICIAL RECORDS, NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

13. AN EASEMENT OVER SAID LAND FOR PUBLIC ROAD AND INCIDENTAL PURPOSES, AS GRANTED TO THE COUNTY OF SAN DIEGO, IN INSTRUMENT RECORDED OCTOBER 14, 1958, IN BOOK 7292, PAGE 555, OFFICIAL RECORDS, AFFECTS THE EASTERLY LINE OF LOT 84 NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

15. AN EASEMENT OVER SAID LAND FOR TRANSMISSION AND DISTRIBUTION OF UTILITIES AND INCIDENTAL PURPOSES, AS GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY, IN INSTRUMENT RECORDED JUNE 05, 1961, IN INSTRUMENT NO. 95678, OFFICIAL RECORDS, NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

16. AN EASEMENT OVER SAID LAND FOR CUT SLOPE BANK AND INCIDENTAL PURPOSES, AS GRANTED TO FANNIN CORP., IN INSTRUMENT RECORDED MARCH 22, 1962, IN INSTRUMENT NO. 48526, OFFICIAL RECORDS, NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

17. AN EASEMENT OVER SAID LAND FOR SLOPE RIGHTS AND INCIDENTAL PURPOSES, AS GRANTED TO FANNIN CORP., A CALIFORNIA CORPORATION, IN INSTRUMENT RECORDED MARCH 22, 1962, IN INSTRUMENT NO. 48329, OFFICIAL RECORDS, NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

18. AN EASEMENT OVER SAID LAND FOR SLOPE AND INCIDENTAL PURPOSES, AS GRANTED TO FANNIN CORP., IN INSTRUMENT RECORDED APRIL 04, 1963, IN INSTRUMENT NO. 57833, OFFICIAL RECORDS, NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

19. AN EASEMENT OVER SAID LAND FOR ROAD AND INCIDENTAL PURPOSES, AS GRANTED TO JOHN R. DANIEL, A MARRIED MAN, IN INSTRUMENT RECORDED SEPTEMBER 12, 1969, IN INSTRUMENT NO. 167246, OFFICIAL RECORDS, NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

20. AN EASEMENT OVER SAID LAND FOR TRANSMISSION AND DISTRIBUTION OF UTILITIES AND INCIDENTAL PURPOSES, AS GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY, IN INSTRUMENT RECORDED APRIL 01, 1980, IN INSTRUMENT NO. 80-111026, OFFICIAL RECORDS, NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

21. AN AGREEMENT TO WHICH REFERENCE IS HEREBY MADE FOR FULL PARTICULARS REGARDING TO IMPROVEMENTS IN A PUBLIC RIGHT OF WAY RECORDED NOVEMBER 5, 1980, AS FILE NO. 80-373194, OFFICIAL RECORDS, DOES NOT APPLY OR AFFECT EASEMENT AREA.

22. AN EASEMENT OVER SAID LAND FOR PUBLIC HIGHWAY AND INCIDENTAL PURPOSES, AS GRANTED TO THE COUNTY OF SAN DIEGO, IN INSTRUMENT RECORDED NOVEMBER 10, 1980, IN INSTRUMENT NO. 80-378406, OFFICIAL RECORDS, NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

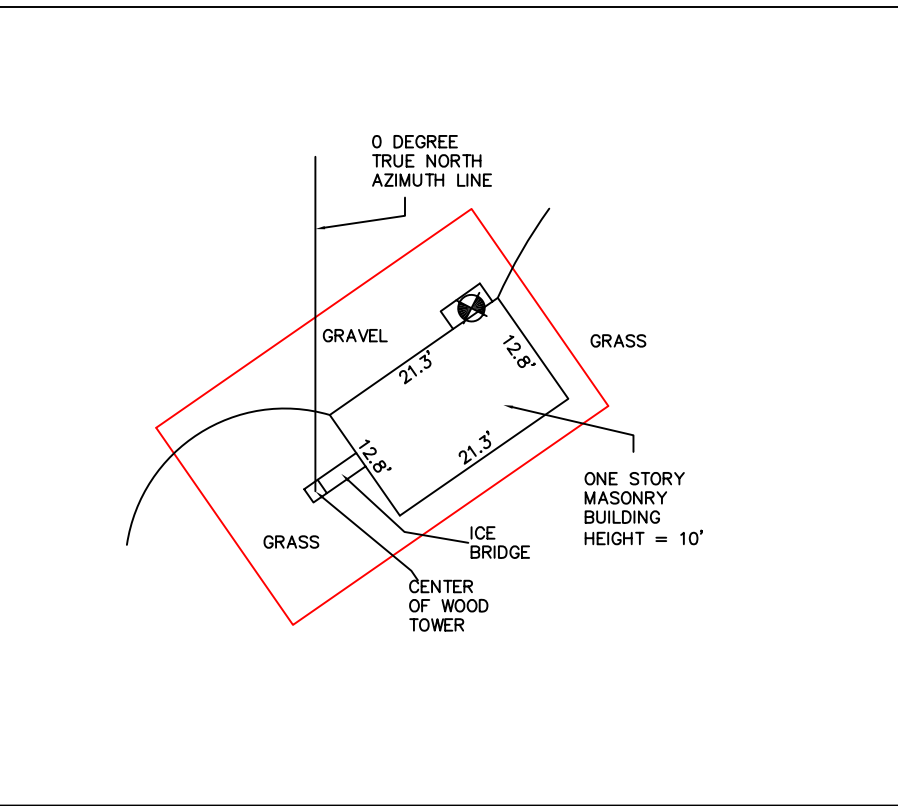
24. AN EASEMENT OVER SAID LAND FOR PUBLIC ROAD AND INCIDENTAL PURPOSES, IN INSTRUMENT RECORDED NOVEMBER 10, 1980, IN INSTRUMENT NO. 80-378407, OFFICIAL RECORDS, NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

26. AN EASEMENT OVER SAID LAND FOR PLANTING AND PARKING OF VEHICLES AND INCIDENTAL PURPOSES, AS GRANTED TO ALBERT J. FLUGHAN AND JEAN R. FLUGHAN, HUSBAND AND WIFE, AS JOINT TENANTS, IN INSTRUMENT RECORDED FEBRUARY 25, 1983, IN INSTRUMENT NO. 83-060167, OFFICIAL RECORDS, NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

27. AN EASEMENT OVER SAID LAND FOR UNDERGROUND FACILITIES AND ABOVE GROUND STRUCTURES AND INCIDENTAL PURPOSES, AS GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY, IN INSTRUMENT RECORDED DECEMBER 16, 1992, IN INSTRUMENT NO. 92-0804541, OFFICIAL RECORDS, NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. APPLIES AND AFFECTS SUBJECT PROPERTY, AND IS BLANKET IN NATURE.

30. AN EASEMENT OVER SAID LAND FOR UNDERGROUND WATER PIPELINES AND INCIDENTAL PURPOSES, AS GRANTED TO HELIX WATER DISTRICT, IN INSTRUMENT RECORDED JUNE 30, 1997, IN INSTRUMENT NO. 97-0306207, OFFICIAL RECORDS, NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

34. THE TERMS, CONDITIONS AND PROVISIONS AS CONTAINED IN THE INSTRUMENT ENTITLED "HAZARDOUS SUBSTANCES CERTIFICATE AND INDEMNITY AGREEMENT", BY AND BETWEEN TRINITY PRESBYTERIAN CHURCH OF SPRING VALLEY, A NON-PROFIT CALIFORNIA CORPORATION, WHO ACQUIRED TITLE AS TRINITY PRESBYTERIAN CHURCH OF LA MESA, A NON-PROFIT CALIFORNIA CORPORATION, AND FIRST BUSINESS BANK, DATED SEPTEMBER 21, 2007, RECORDED SEPTEMBER 28, 2007, IN INSTRUMENT NO. 2007-0633042, OFFICIAL RECORDS, APPLIES AND AFFECTS SUBJECT PROPERTY, NO SURVEY MATTERS TO PLOT.



Drawn By: ECS	Checked By: ENS
DATE: 08-28-12	
REVISIONS	
NO.	DATE DESCRIPTION
1	
2	
3	
4	
5	
6	
7	

SURVEYOR:

CSSI
Commercial Surveying Specialists, Inc.
357 6th Avenue West
Bradenton, FL 34205
(409) 202-5004

SURVEYOR DRAWING NUMBER
08-12-007

SHEET TITLE
2011 ALTA/ACSM LAND TITLE SURVEY

PREPARED FOR:

American Tower Corporation
10 Presidential Way
Woburn, MA 01801.

PROJECT NUMBER
302247

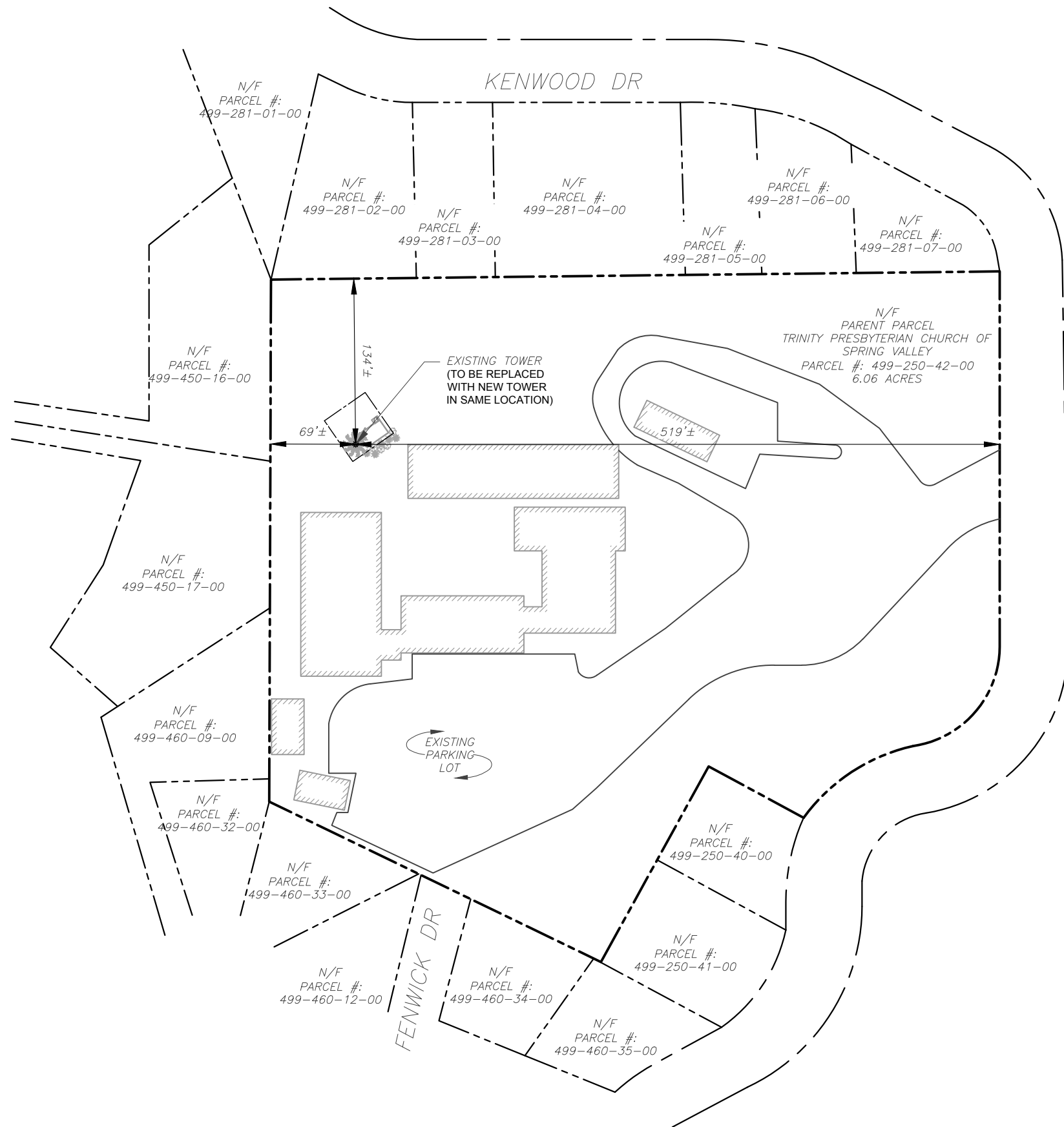
SITE ADDRESS
3902 KENWOOD DRIVE
LA MESA, CA. 91941

WORK COORDINATED BY:

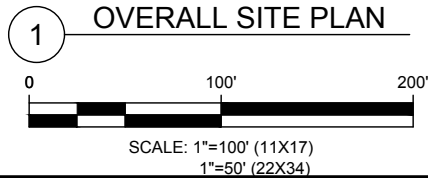
COX LEVIN
National Land Survey Consultants
1264 Main Street - Waltham, MA 02451
781-333-2437 (phone/fax) - www.coxlevin.com

SITE NAME
CASA DE ORO CA

SHEET NUMBER
1 of 1



- SURVEY LEGEND**
- EXISTING PROPERTY
 - EXISTING ADJ. PROPERTY
 - EXISTING BUILDING
 - EXISTING ROAD (STONE)
 - EXISTING ROAD (PAVED)
 - EXISTING CONCRETE
 - EXISTING LEASE AREA
 - EXISTING R.O.W.



AMERICAN TOWER®
ATC TOWER SERVICES, LLC
3500 REGENCY PARKWAY
SUITE 100
CARY, NC 27518
PHONE: (919) 468-0112

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

REV.	DESCRIPTION	BY	DATE
0	FOR CONSTRUCTION	NRP	04/26/18

ATC SITE NUMBER:

204844

ATC SITE NAME:

**REBUILD CASA DE
ORO CA 1**

SITE ADDRESS:

3902 KENWOOD DRIVE
SPRING VALLEY, CA 91977

SEAL:

DRAWN BY:	RD
APPROVED BY:	WG
DATE DRAWN:	04/26/18
ATC JOB NO:	12487707
ATC LEGACY #:	302247

OVERALL SITE PLAN

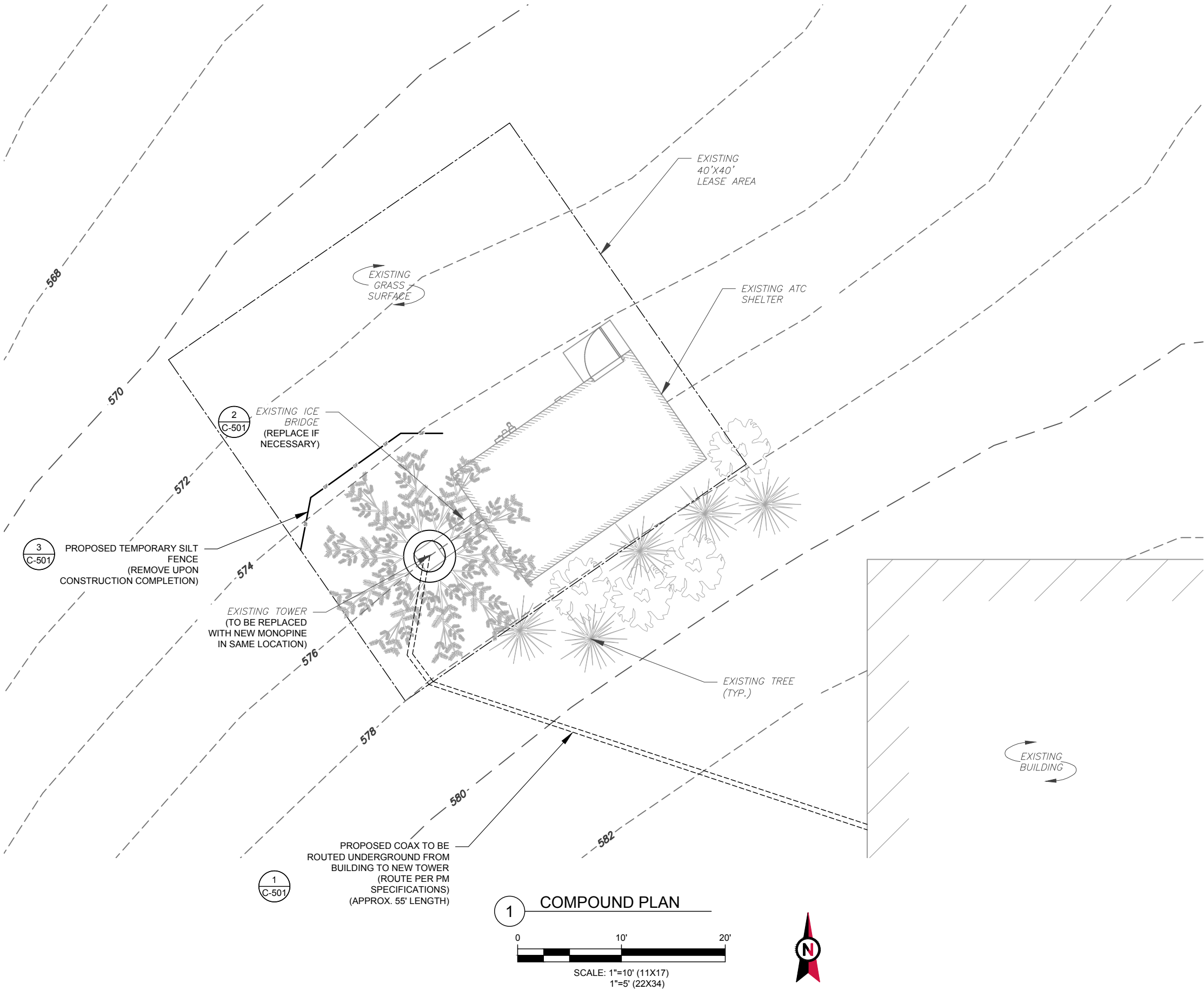
SHEET NUMBER:

C-101

REVISION:

0

- NOTES:
1. MATERIALS DELIVERED TO SITE SHALL BE STORED IN DESIGNATED AREA TO BE DETERMINED BY ATC CONSTRUCTION MANAGER.
 2. ALL MATERIALS FROM OLD TOWER SHALL BE DISPOSED OFFSITE.
 3. BRANCHING SHALL EXTEND A MINIMUM OF 28" OFF ALL PROPOSED ANTENNAS.




AMERICAN TOWER®
ATC TOWER SERVICES, LLC
3500 REGENCY PARKWAY
SUITE 100
CARY, NC 27518
PHONE: (919) 468-0112

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REV.	DESCRIPTION	BY	DATE
0	FOR CONSTRUCTION	NRP	04/26/18
1	PER COMMENTS	NRP	06/18/18
2	ADDITIONAL COMMENTS	NRP	07/05/18

ATC SITE NUMBER:
204844

ATC SITE NAME:
REBUILD CASA DE ORO CA 1

SITE ADDRESS:
3902 KENWOOD DRIVE
SPRING VALLEY, CA 91977

SEAL:

DRAWN BY:	RD
APPROVED BY:	WG
DATE DRAWN:	04/26/18
ATC JOB NO:	12487707
ATC LEGACY #:	302247

COMPOUND PLAN

SHEET NUMBER: C-401	REVISION: 3
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TOP OF BRANCHES
ELEV. 63'-0" A.G.L.
ELEV. 640'-4" AMSL

TOP OF EXISTING TOWER
ELEV. 52'-0" A.G.L.
ELEV. 629'-4" AMSL

EXISTING SPRINT ANTENNAS
RAD CENTER @ 50'-0" A.G.L.

EXISTING MONOPALM
(TO BE REMOVED)

EXISTING 10'
ATC SHELTER

EXISTING 10'
ICE BRIDGE

EXISTING GRADE
ELEV 577.33' AMSL
ELEV 0' A.G.L.

1 EXISTING TOWER ELEVATION
SCALE: NOT TO SCALE

TOWER NOTE:

1. NO LIGHTING IS REQUIRED BY FAA.
2. BRANCHING WILL EXTEND 28" OFF FROM THE ANTENNAS.
3. FUTURE ANTENNAS AND MOUNTING BRACKETS ARE FOR REFERENCE ONLY AND SHALL BE INSTALLED AT A LATER DATE.

BOTTOM OF PLATE
EL. 578.03' (AMSL)
FINISHED GRADE
EL. 577.33' (AMSL)
SUB-GRADE

TOP OF PIER
EL. 577.83' (AMSL)

2 TOWER BASE ELEVATION
SCALE: NOT TO SCALE

TOP OF PROPOSED BRANCHING
ELEV. 640.33' AMSL
ELEV. 63' A.G.L.

TOP OF PROPOSED TOWER
ELEV. 637.33' AMSL
ELEV. 60' A.G.L.

PROPOSED TOP OF ANTENNAS
ELEV. 56' A.G.L.

PROPOSED VERIZON ANTENNAS
RAD CENTER 52' A.G.L.

FUTURE ANTENNAS
RAD CENTER 40' A.G.L.

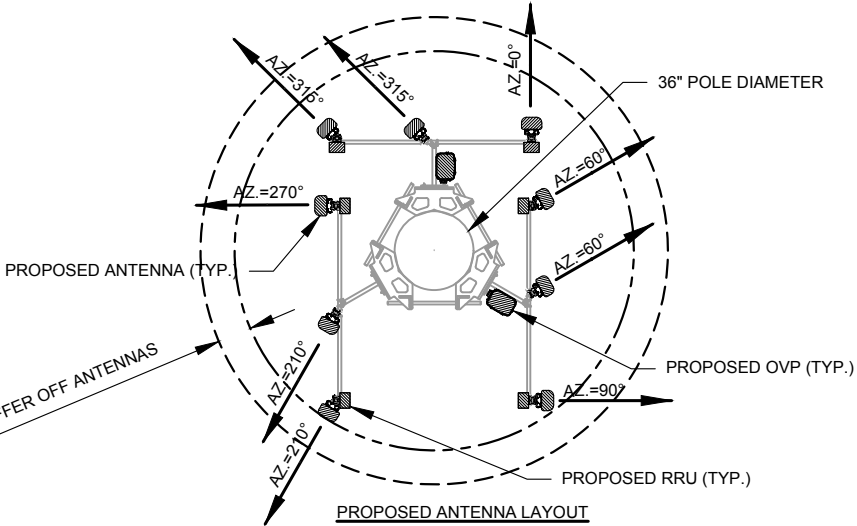
BOTTOM OF PROPOSED BRANCHING
ELEV. 592.33' AMSL
ELEV. 15' A.G.L.

PROPOSED MONOPINE

PROPOSED GRADE
ELEV 577.33' AMSL
ELEV 0' A.G.L.

3 PROPOSED TOWER ELEVATION
SCALE: NOT TO SCALE

PROPOSED ANTENNA AND RF EQUIPMENT SCHEDULE					
CARRIER	RAD CENTER	QTY.	EQUIPMENT	MODEL NUMBER	STATUS
VERIZON	52'-0"	2	BOB	RCMDC-3315-PF-48	ADD
VERIZON	52'-0"	3	RRU/RRH	RADIO 8843	ADD
VERIZON	52'-0"	3	RRU/RRH	RADIO 4449	ADD
VERIZON	52'-0"	7	ANTENNA	NHH-65C-R2B	ADD
VERIZON	52'-0"	2	ANTENNA	NHH-45C-R2B	ADD



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REV.	DESCRIPTION	BY	DATE
1	FOR CONSTRUCTION	NRP	04/26/18
2	ADDITIONAL COMMENTS	NRP	07/05/18
3	REVISED TOWER ELEVATION	NRP	10/17/18

ATC SITE NUMBER:

204844

ATC SITE NAME:

REBUILD CASA DE
ORO CA 1

SITE ADDRESS:

3902 KENWOOD DRIVE
SPRING VALLEY, CA 91977

SEAL:

DRAWN BY:	RD
APPROVED BY:	WG
DATE DRAWN:	04/26/18
ATC JOB NO:	12487707
ATC LEGACY #:	302247

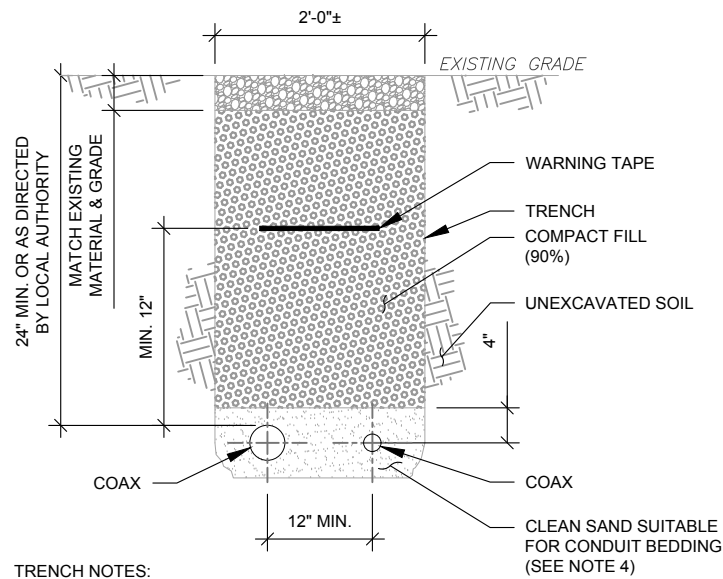
TOWER ELEVATION

SHEET NUMBER:

C-402

REVISION:

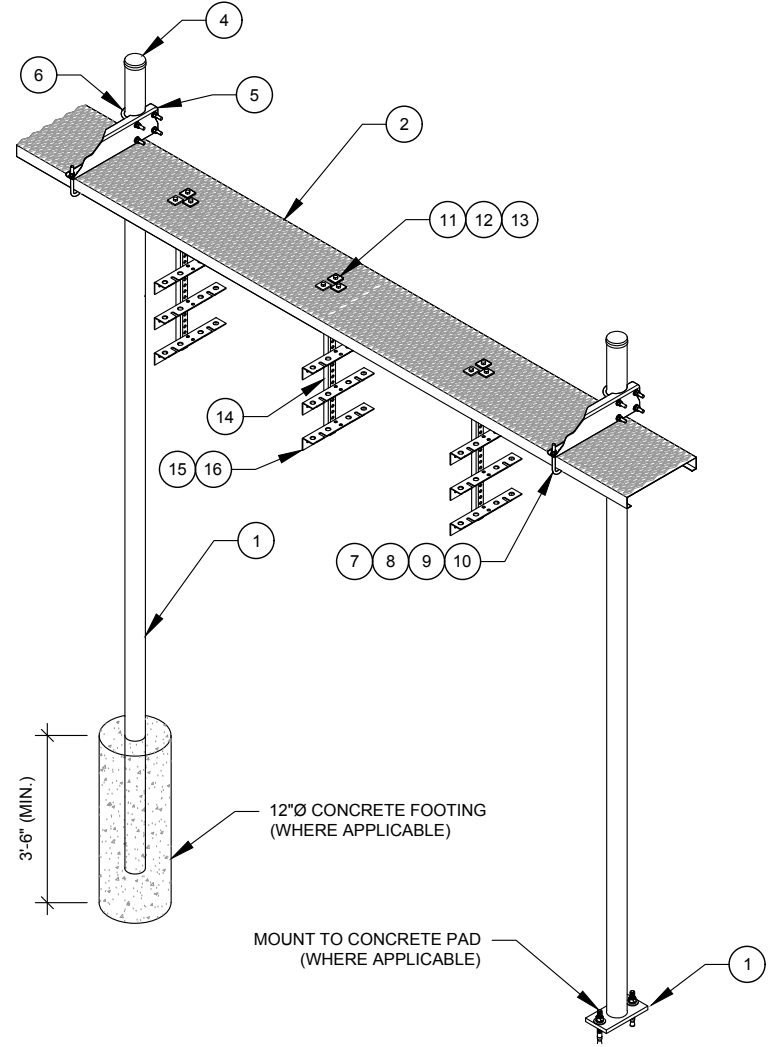
3



- TRENCH NOTES:**
- IF FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL, EXCAVATED MATERIAL MAY BE USED FOR BACKFILL. IF NOT, PROVIDE CLEAN, COMPACTIBLE MATERIAL. COMPACT IN 8" LIFTS. REMOVE ANY LARGE ROCKS PRIOR TO BACKFILLING. CONTRACTOR TO VERIFY LOCATION OF EXISTING U/G UTILITIES PRIOR TO DIGGING.
 - IF CURRENT AS-BUILT DRAWINGS ARE NOT AVAILABLE CONTRACTOR SHALL HAND DIG U/G TRENCHING.
 - CONFIRM SPACING AND DEPTH WITH LOCAL CODE REQUIREMENTS

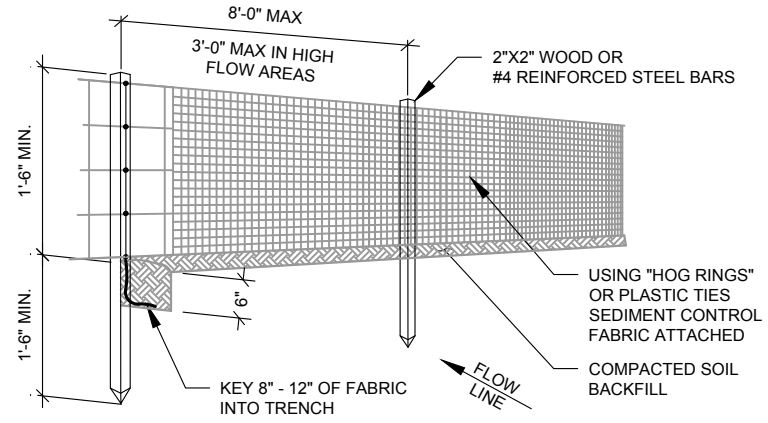
1 COAX TRENCH DETAIL
SCALE: N.T.S.

- CONSTRUCTION NOTE:**
- WHERE POSSIBLE AND AS APPLICABLE, THE CONTRACTOR SHALL UTILIZE EXISTING ICE BRIDGE, CABLE LADDER, COAX SUPPORTS, AND COAX PORTS. BEFORE UTILIZING, CONTRACTOR SHALL VERIFY THAT ALL ASPECTS OF THE COMPONENTS MEET THE ATC SPECIFICATIONS. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF NEW ICE BRIDGE, CABLE LADDER, COAX SUPPORT, AND COAX PORT, AS REQUIRED, WITH THE ATC CONSTRUCTION MANAGER.
 - INSTALL ICE BRIDGE TO ALLOW 7 FEET CLEARANCE ABOVE GRADE TO LOWEST APPURTENANCE.



WB-K210-B WAVEGUIDE BRIDGE KIT - BILL OF MATERIALS (INCLUDED WITH KIT UNLESS NOTED OTHERWISE)					
ITEM	PART NUMBER	DESCRIPTION	ITEM	PART NUMBER	DESCRIPTION
1	MF126.01 MF-130	10'-4" COLUMN & BASE SHOE* 13'-4" PIPE COLUMN	9	GWL-04	1/2" GALV LOCK WASHER
2	WB-CY210	SAFETY GRATING 24" X 10'	10	GN-04	1/2" GALV HEX NUT
3	WBK110BHK	HARDWARE KIT (ITEMS 4-16)	11	GB-03205	3/8" X 2" GALV BOLT KIT
4	PC-034	PIPE CAP 3-1/2"	12	MT-387	SQUARE WASHER, 1-1/2" X 1-1/2" W/ 7/16" HOLE
5	WBLB243.08	24" WAVEGUIDE BRIDGE SUPPORT BRACKET	13	GWf-03	3/8" GALV FLAT WASHER
6	GUB-4356	1/2" X 3-5/8" X 6" GALV U-BOLT	14	WBT243.01	VERTICAL TRAPEZE SECTION
7	WB-JB-6	1/2" J-BOLT	15	GB-03105	3/8" X 1" GALV BOLT KIT
8	GWf-04	1/2" GALV FLAT WASHER	16	WBT243.02	HORIZONTAL TRAPEZE SECTION
CONTRACTOR SHALL USE PARTS MANUFACTURED BY COMMScope OR APPROVED EQUIVALENT. *BASE SHOE NOT INCLUDED IN WB-K210-B KIT, ORDER COLUMN SEPARATELY OR KIT WB-K210-S.					

2 24" WAVEGUIDE BRIDGE KIT
SCALE: NOT TO SCALE



- NOTES:**
- FABRIC WIDTH SHALL BE 30 IN. MINIMUM. STAKES SHALL BE HARDWOOD OR EQUIVALENT STEEL STAKES.
 - SILT FENCE SHALL BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE FENCE SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT.
 - SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH HALF THE ABOVE GROUND HEIGHT OF THE FENCE.
 - ANY SECTION OF SILT FENCE WHICH HAS BEEN UNDERMINED OR TOPPED SHALL BE IMMEDIATELY REPLACED.
 - FENCE SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN TRIBUTARY AREA IS PERMANENTLY STABILIZED.

AMERICAN TOWER MASTER SPECIFICATION:
1. DIVISION 31 EARTHWORK SECTION 0312500 FOR EROSION AND SEDIMENT CONTROLS

3 SILT FENCE DETAIL
SCALE: NOT TO SCALE



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REV.	DESCRIPTION	BY	DATE
0	FOR CONSTRUCTION	NRP	04/26/18
1	PER COMMENTS	NRP	06/18/18

ATC SITE NUMBER:
204844

ATC SITE NAME:
REBUILD CASA DE ORO CA 1

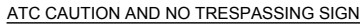
SITE ADDRESS:
3902 KENWOOD DRIVE
SPRING VALLEY, CA 91977

SEAL:

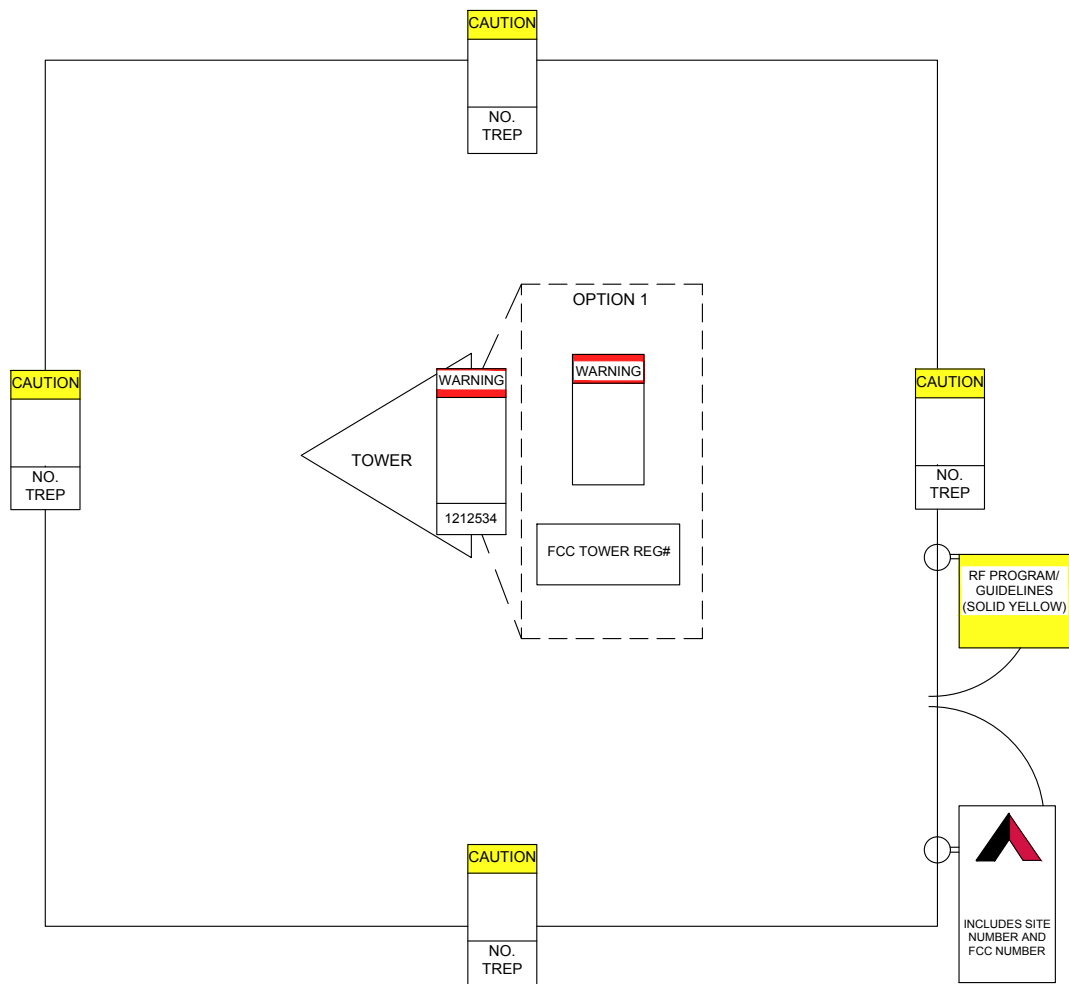
DRAWN BY:	RD
APPROVED BY:	WG
DATE DRAWN:	04/26/18
ATC JOB NO:	12487707
ATC LEGACY #:	302247

DETAILS

SHEET NUMBER:	REVISION:
C-501	3



A "NO TRESPASSING" SIGN MUST BE POSTED A MINIMUM OF EVERY 50'.



FCC TOWER REGISTRATION #

Posting of sign required by law

ATC STAND-ALONE FCC TOWER
REGISTRATION SIGN

 **NOTICE** 

**GUIDELINES FOR WORKING IN
RADIOFREQUENCY ENVIRONMENTS**

-  All personnel should have electromagnetic energy (EME) awareness training.
-  All personnel entering this site must be authorized.
-  Obey all posted signs.
-  Assume all antennas are active.
-  Before working on antennas, notify owners and disable appropriate transmitters.
-  Maintain minimum 3 feet clearance from all antennas.
-  Do not stop in front of antennas.
-  Use personal RF monitors while working near antennas.
-  Never operate transmitters without shields during normal operation.
-  Do not operate base station antennas in equipment room.

ATC RF PROGRAM NOTICE SIGN



REPLACEMENT OF SIGNAGE:

AS SIGNAGE BECOMES STOLEN, DAMAGED, BRITTLE OR FADED, IT SHOULD BE REPLACED WITH SIGNAGE PER THIS SPECIFICATION. ANY ACQUIRED SITE SHOULD HAVE NEW SIGNS POSTED WITHIN 60 DAYS UNLESS OTHERWISE SPECIFIED. ANY SITE SOLD SHOULD HAVE THE ATC SIGNS REMOVED WITHIN 30 DAYS UNLESS OTHERWISE SPECIFIED. ALL FCC OR REGULATORY SIGNAGE MUST BE INSTALLED OR REPLACED AS REQUIRED TO MEET OUR STANDARD. SIGNS SHOULD BE REPLACED ON NORMAL, QUARTERLY MAINTENANCE VISITS BY CONTRACTORS OR SITE MANAGERS, UNLESS OTHERWISE REQUIRED ON A CASE-BY-CASE BASIS.

NOTE:

EXTERIOR SIGNS ARE NOT PROPOSED EXCEPT AS REQUIRED BY THE FCC. ALL EXISTING SIGNAGE AND ANY FUTURE SIGNAGE WILL BE COMPLIANT WITH STATUTE 164-43.4 NO HIGH-VOLTAGE SIGNAGE IS NECESSARY. NO HIGH-VOLTAGE EQUIPMENT PRESENT.



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REV.	DESCRIPTION	BY	DATE
0	FOR CONSTRUCTION	NRP	04/26/18

ATC SITE NUMBER:

204844

ATC SITE NAME:

REBUILD CASA DE ORO CA 1

SITE ADDRESS:

3902 KENWOOD DRIVE
SPRING VALLEY, CA 91977

SEAL:

DRAWN BY:	RD
APPROVED BY:	WG
DATE DRAWN:	04/26/18
ATC JOB NO:	12487707
ATC LEGACY #:	302247

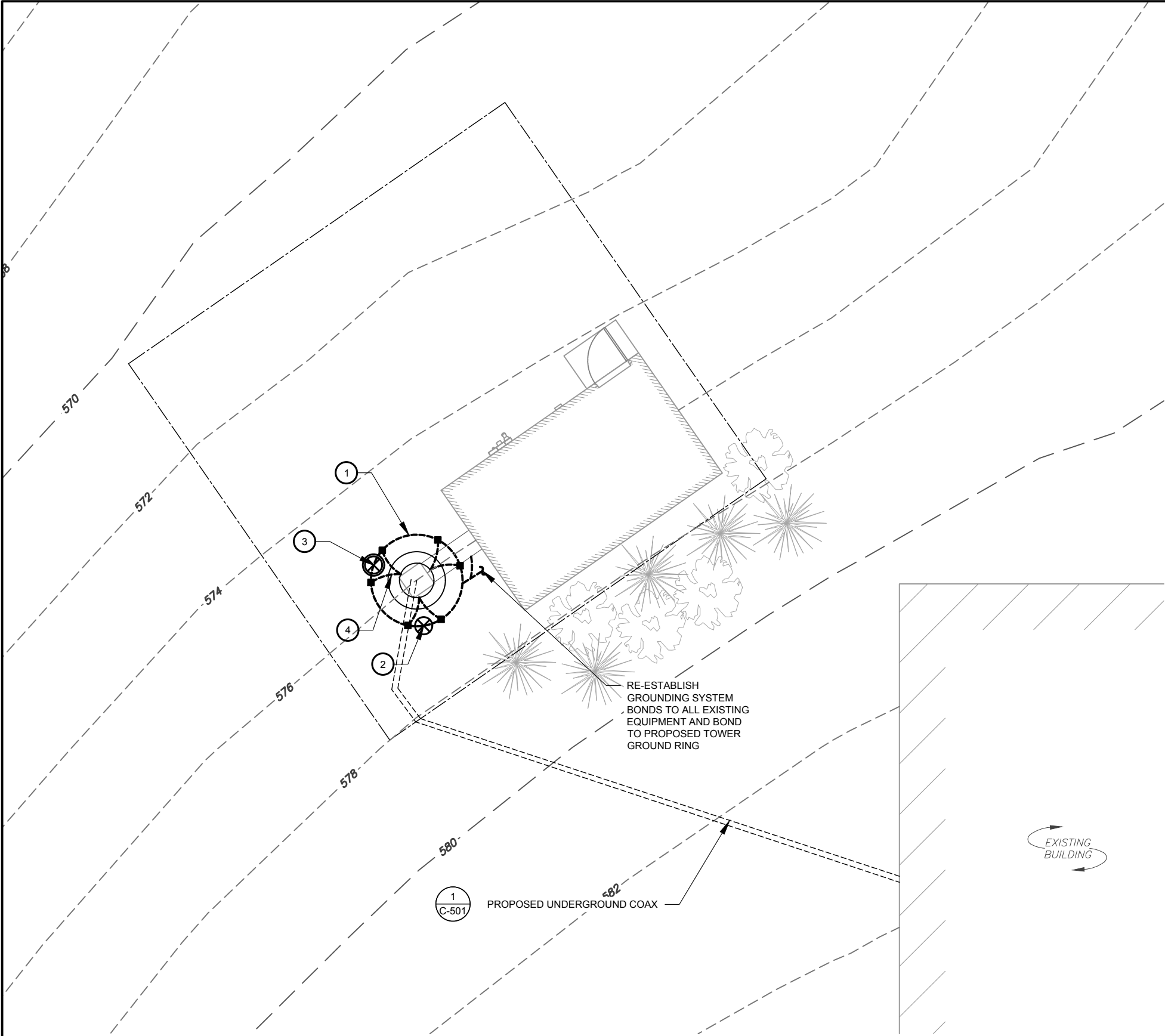
SIGNAGE

SHEET NUMBER:

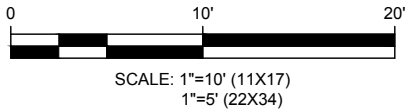
C-502

REVISION:

0



1 GROUNDING PLAN



GROUNDING PLAN NOTES:

1. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
2. ALL GROUND CONNECTIONS SHALL BE EXOTHERMIC WELDED. ALL WIRES SHALL BE COPPER.
3. CONTRACTOR TO VERIFY AND TEST GROUND TO SOURCE. GROUNDING AND OTHER OPERATIONAL TESTING WILL BE WITNESSED BY OWNER REPRESENTATIVE.
4. REFER TO ATC MASTER SPEC AND COMPLY WITH ALL REQUIREMENTS OF GROUNDING STANDARDS.
5. ELECTRICAL CONTRACTOR TO PROVIDE DETAILED DESIGN OF GROUNDING SYSTEM, AND RECEIVE APPROVAL OF DESIGN BY OWNER REPRESENTATIVE, PRIOR TO INSTALLATION OF GROUND RING SYSTEM. PHOTO DOCUMENT ALL CONNECTIONS AND GROUND RING.
6. NOTIFY CONSTRUCTION MANAGER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.
7. TO AVOID TOWER FOUNDATION, GROUND RODS MAY BE INSTALLED AT AN ANGLE OR TOWER GROUND RING MAY BE EXTENDED AS NEEDED.

KEYED NOTES:

- 1 #2 AWG SBTC TOWER GROUND RING.
(MIN 2 FT FROM FOUNDATION)
- 2 5/8" X 10 FT GROUND ROD (TYP). SEE DETAIL 2 ON SHEET E-501
- 3 5/8" X 10 FT GROUND ROD WITH TEST WELL (MIN. ONE PER SITE ON TOWER GROUND RING). SEE DETAIL 6 ON SHEET E-501.
- 4 TOWER TO GROUND RING BONDS. SEE DETAIL 3 & 7 ON SHEET E-501.

INSTALLATION NOTES:

1. INSTALL STANDARD BASE DESIGN AS SHOWN.
2. MEASURE GROUNDING SYSTEM RESISTANCE WITH A 3-PROBE TEST AND PRIOR TO CONNECTION OF UTILITY POWER NEUTRAL TO THE SYSTEM.
3. IF RESISTANCE (STEP 2) IS GREATER THAN 10 OHMS, INSTALL ADDITIONAL SYSTEM AS SHOWN.
4. MEASURE GROUNDING SYSTEM RESISTANCE WITH A 3-PROBE TEST AND PRIOR TO CONNECTION OF UTILITY POWER NEUTRAL TO THE SYSTEM.
5. IF RESISTANCE (STEP 4) IS GREATER THAN 10 OHMS AFTER INSTALLATION OF ADDITIONAL SYSTEM, COORDINATE WITH ATC ENGINEER OF RECORD FOR RESOLUTION.

GROUNDING PLAN LEGEND:

- | | | | |
|-------|-----------------|--|-------------------|
| ----- | GROUND WIRE | | COPPER GROUND ROD |
| — | GROUND BAR | | TEST WELL |
| ■ | EXOTHERMIC WELD | | |
| ● | MECHANICAL WELD | | |



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REV.	DESCRIPTION	BY	DATE
0	FOR CONSTRUCTION	NRP	04/26/18
1	PER COMMENTS	NRP	06/18/18

ATC SITE NUMBER:
204844

ATC SITE NAME:
REBUILD CASA DE ORO CA 1

SITE ADDRESS:
3902 KENWOOD DRIVE
SPRING VALLEY, CA 91977

SEAL:

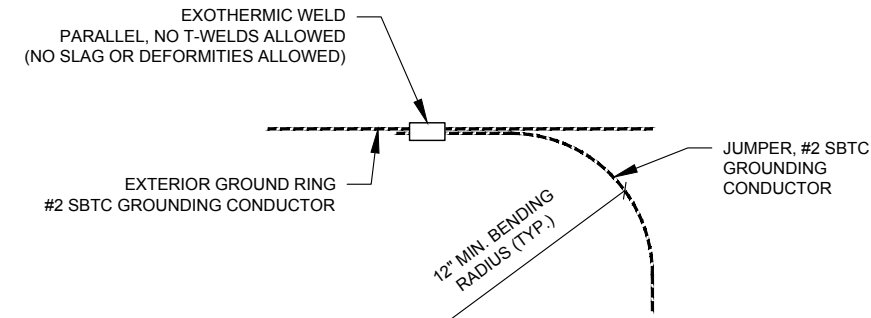
DRAWN BY:	RD
APPROVED BY:	WG
DATE DRAWN:	04/26/18
ATC JOB NO:	12487707
ATC LEGACY #:	302247

GROUNDING LAYOUT

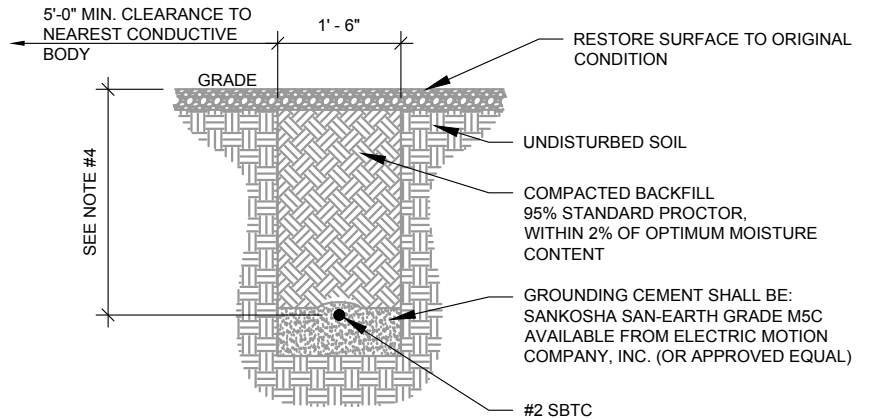
SHEET NUMBER: E-401	REVISION: 1
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NOTES:

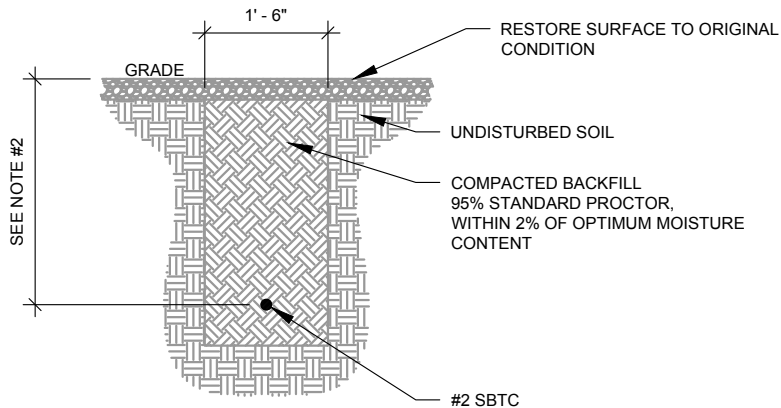
1. LOCATE BEFORE DIGGING.
2. ALL RING AND RADIAL DEPTHS AT 30" OR 6" BELOW FROST LINE, WHICHEVER IS GREATER.
3. WELD GROUND TO FENCE AS LOW AS POSSIBLE TO DETER COPPER THEFT



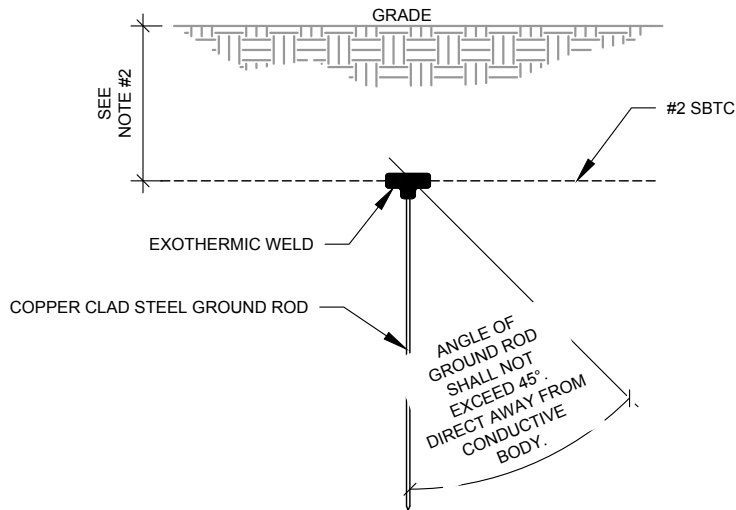
1 TIE CONNECTION DETAIL
SCALE: N.T.S.



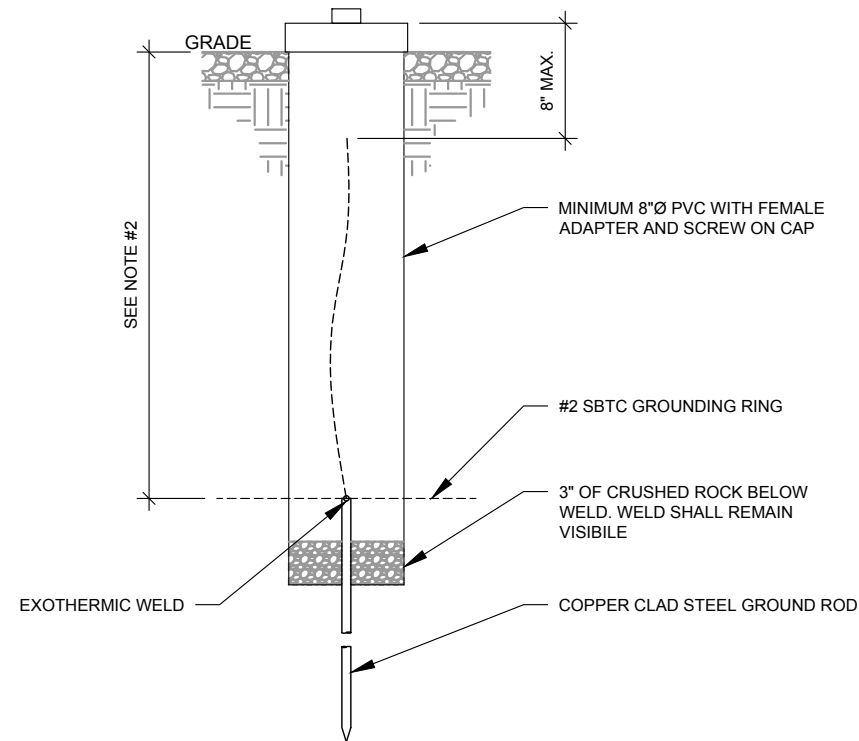
4 GROUND CONNECTION TRENCH DETAIL (WITH G.E.M.,
GROUND ENHANCEMENT MATERIAL)
SCALE: N.T.S.



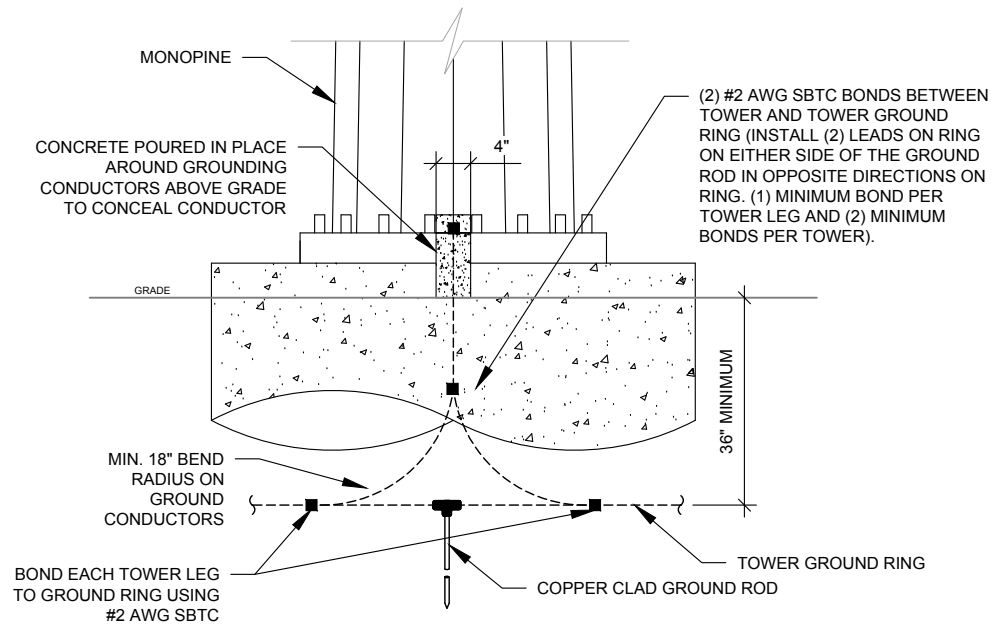
5 GROUND CONNECTION TRENCH DETAIL (STD.)
SCALE: N.T.S.



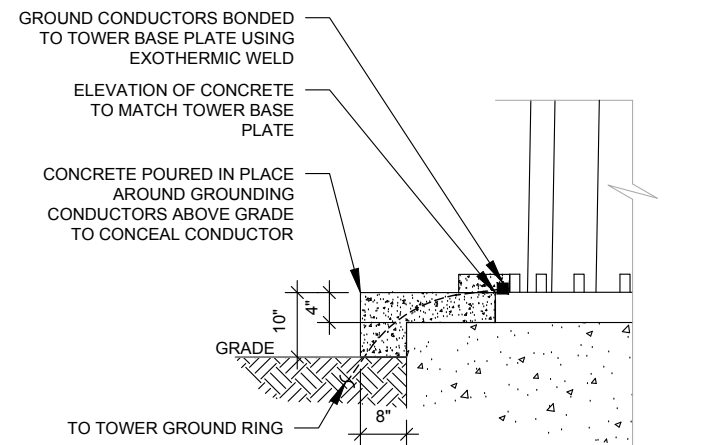
2 GROUND ROD DETAIL
SCALE: N.T.S.



6 TEST WELL DETAIL
SCALE: N.T.S.



3 TOWER GROUNDING (FRONT)
SCALE: N.T.S.



7 TOWER GROUNDING (SIDE)
SCALE: N.T.S.

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ELECTRICAL DETAILS

SHEET NUMBER:	REVISION:
E-501	0